

DETERMINATION OF BASE FLOOD ELEVATION FORM

Copy all pages of this Determination and all attachments for (1) community official, (2) building owner.

SECTION A – PROPERTY INFORMATION				FOR COUNTY USE ONLY	
A1. Building/Site Owner's Name Ellis Management Group LLC & Emercor Property Group LLC				Permit Number:	
A2. Building/Site Street Address All of the south side of Horseshoe Lake Dr. East (See Attachment)				Date of Submittal:	
City Huntsville		State Texas		ZIP Code 77320	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Proposed Lots 201-215, Section 1 (See Attachment)					
A4. Latitude/Longitude: Lat. <u>30.806092°N</u> Long. <u>95.462349°W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Walker County Unincorporated 481042			B2. County Name Walker		B3. State Texas
B4. Map/Panel Number 48471C0275	B5. Suffix D	B6. FIRM Index Date 16Aug11	B7. FIRM Panel Effective/ Revised Date 16Aug11		B8. Flood Zone(s) A
B9. Indicate elevation datum used for on FIRM Panel in Item B7: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input checked="" type="checkbox"/> Other/Source: _____					
SECTION C – SOURCE OF BASE FLOOD ELEVATION DATA					
C1. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item E3. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> LOMA, LOMR, Federal, State, or Local Determination (Attach Copy) <input type="checkbox"/> Other (Complete Section D)					
SECTION D – METHOD OF DETERMINATION FOR APPROXIMATE ZONE A					
<p><i>The below methods of determination are those listed and described in detail in publication FEMA 265/July 1995 "Managing Floodplain Development in Approximate Zone A Areas" and any determinations submitted shall utilize a method consistent with the publication, acceptable to FEMA, and considered appropriate by the certifying engineer or surveyor (see section F).</i></p>					
<p>D1) SIMPLIFIED METHODS</p> <p><input checked="" type="checkbox"/> Contour Interpolation Method</p> <p><input type="checkbox"/> Data Extrapolation Method</p> <p>D2) DETAILED METHODS (Please select one item from each category)</p> <p>a) <u>Topography:</u></p> <p><input type="checkbox"/> Existing Topographic Maps</p> <p><input type="checkbox"/> Field Survey</p> <p>b) <u>Hydrology:</u></p> <p><input type="checkbox"/> Discharge Drainage Area Relationships</p> <p><input type="checkbox"/> Regression Equations</p> <p><input type="checkbox"/> TR-55</p> <p><input type="checkbox"/> Rational Formula</p> <p><input type="checkbox"/> Other Hydrograph Methods: _____</p> <p>c) <u>Hydraulics:</u></p> <p><input type="checkbox"/> Normal Depth</p> <p><input type="checkbox"/> Critical Depth</p> <p><input type="checkbox"/> Step-Backwater Analysis</p> <p><input type="checkbox"/> Hydraulic Structures</p>					

SECTION E – BASE FLOOD ELEVATION (BFE) DETERMINATION

(BFE shall be determined to within one tenth of a foot)

E1. Indicate elevation datum used for the Base Flood Elevation shown in section E3:

NGVD 1929 NAVD 1988 Other/Source: _____

E2. What is the site/location to which the determined Base Flood Elevation can be applied:

- a) The entire lot/tract described in section A3
 b) A specific building site on, or portion of, the lot/tract described in Section A3

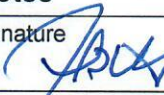
If E2(b) is selected a detailed scaled map/survey must be attached indicating the area of the lot subject to the BFE determined.

E3. The Base Flood Elevation for the site described in section E2, determined utilizing FEMA approved methods is:

249.5 ft

SECTION F – CERTIFICATION

This certification is to be signed and sealed by a registered engineer authorized by law to practice engineering in the State of Texas. If the source of the Base Flood Elevation in Section C is not "other", or is a finding under the "other" category supported by the "contour interpolation method" then a registered professional surveyor may sign and seal the certification instead of a registered engineer. I certify that the information on this form represents my best efforts to interpret the data available, and that the determinations herein were made in compliance with FEMA approved methodologies and standard engineering practices. I understand that any false statement may be punishable by fine or imprisonment.

Certifier's Name Frank G. Hill, P.E., CFM		License Number 70154
Title Principal		
Company Name Gary Hill Engineering LLC		
Address 9238 Trailing Fern		
City Helotes	State Texas	ZIP Code 78023
Signature 	Date JUN 09 2020	Telephone 210-241-8060



Comments and Attachments (One copy of the current FIRM with the subject lot/tract overlaid, a copy of any engineering studies completed in support of this determination, and a copy of any detailed map required by section E2 shall be included and listed along with any other attachments). Please list all attachments along with the number of pages of that attachment.

Attachments

A2: Building/Site Street Address

Refer to plat enclosed for location of new lots. These lots replace the existing lots and will be receiving new address numbers once recorded.

A3: Property Description

Same as A2, refer to enclosed proposed plat for lot locations (201 to 215).

OWNERS ACKNOWLEDGMENT AND DEDICATION

I We, the undersigned, owners of the land shown on this plat and designated as the HORSESHOE LAKE SECTION ONE a subdivision within Walker County, Texas and whose names are subscribed hereto, do hereby dedicate to the use of the public all streets, parks, water courses, drains, easements and public places shown thereon for the purpose and consideration therein expressed.

Emercor Property Group, LLC
Ellis Management Group, LLC
Signed _____ Signed _____
James Webb Monte Robinson

The State of Texas)
County of Walker)
This instrument was acknowledged before me on the _____ day of _____, 20____ by James Webb and Monte Robinson.

Notary Public
State of Texas

COMMISSIONER'S COURT APPROVAL

This is to certify that the Commissioners Court of Walker County, Texas has on the _____ day of _____, 20____ approved this Replat of the residue of Lot 2 and Lot 3 of Acorn Hill Subdivision, Section 3 in Walker County, Texas.

Robert D. Pierce, II
County Judge, Walker County, Texas

Danny Kuykendall, Ronnie White
Commissioner, Precinct No. 1 Commissioner, Precinct No. 2

Bill Daugette, Jimmy D. Henry
Commissioner, Precinct No. 3 Commissioner, Precinct No. 4

NOTES:

- Coordinates, bearings, distances and areas surveyed hereon are Grid NAD 83 (1993), Texas Central Zone referenced to the City of Huntsville Mapping Control Network and are based on the position of central point 6005 having published coordinates of N= 10,284,018.15 feet, E= 3,823,440.76 feet and G.P.S. observations. Distances herein may be converted to Geodetic Horizontal (surface) by dividing by a Combined Scale Factor of 0.99988.
- This property is partially within Zone A, "areas determined to be within the 0.1% annual chance floodplain", according to F.E.M.A. Flood Insurance Rate Map, Community-Panel No. 481042 0525D and Map No. 4847100525D dated August 16, 2011.
- Special Flood Hazard Line (SFHL) shown hereon was scaled from FEMA Flood Insurance Rate Maps, neither H.E. McAdams & Son Surveying, Inc. nor H.E. McAdams intends to state or imply that flooding will or will not occur in Zones 'A' or 'X' shown hereon.
- The private roads in Horseshoe Lake are "as is," and are privately maintained by Horseshoe Lake Property Owners' Association.
- The ponds, lakes, and dams are privately maintained and permitted by Horseshoe Lake Property Owners' Association.
- All common drainage infrastructures and facilities are privately maintained by Horseshoe Lake Property Owners' Association to allow access by owners, lessees, first responders as required to meet local, state, and federal requirements as it relates to drainage.
- All lessees, owners, Property Owners' Association (Home Owners' Association), and emergency responders must have permanent access to right-of-way on the private roads throughout Horseshoe Lake Development.
- No construction, without the written prior approval of Walker County, shall be allowed within a Flood plain, and then only after detailed engineering plans and studies show that no flooding and no obstruction to the natural flow of water will result. If construction is allowed, all finished floor elevations shall be a minimum of two (2) feet above the 100-year flood elevation. The existing creeks, lakes, reservoirs, or drainage channels, not within a public easement, traversing along or across portions of this subdivision, shall remain as an open channel always and shall be maintained by the individual owners of the lot or lots that are the individual owners of the lot or lots traversed by or next to the drainage courses along or across said lots. Walker County shall not be responsible for the maintenance and operation of private drainageways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing or next to the property clean and free of debris, silt, or any substance that would result in unsanitary conditions. Walker County shall have the right of ingress and egress for inspection and supervision of maintenance work by the property owner and to alleviate any undesirable conditions that may occur. The natural drainage channels are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined, Walker County shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure within the natural drainage channels.
- Dirt work on each lot/tract shall ensure that an individual's drainage must drain to the lowest point of their respective property (either directly in front of their property or to a lake).
- Homeowners and lessees are responsible for all local, state, and federal legal requirements for drainage in regard to their lots and or tracts. This includes all build costs, repairs, maintenance costs, and modification costs needed to ensure legal drainage.
- Compliance with the Walker County Floodplain Management regulations is the responsibility of the Horseshoe Lake Property Owners' Association, save the homeowners' or lessees' responsibilities described above.
- All owners of lots and or tracts must open and maintain an account with the current provider of potable water (drinking water) with the current water utility.
- This survey was completed without an Abstract of Title. There may be easements and other matters not shown.

CERTIFICATION BY SURVEYOR

I, Harold E. McAdams, do hereby state that this plat represents a survey made on the ground and that all corners and monuments are as shown hereon.

Signed _____
Harold E. McAdams
Reg. Prof. Land Surveyor No. 2005
January 15, 2020

CERTIFICATION BY THE COUNTY CLERK

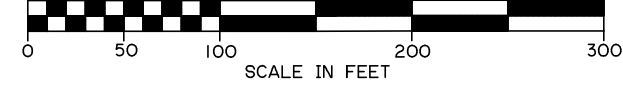
THE STATE OF TEXAS)
COUNTY OF WALKER)
I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with its certificates of authentication was filed for record in my office the _____ day of _____, 20____ in Volume _____, page _____ of the Plat
Records of Walker County, Texas.

County Clerk
Walker County, Texas

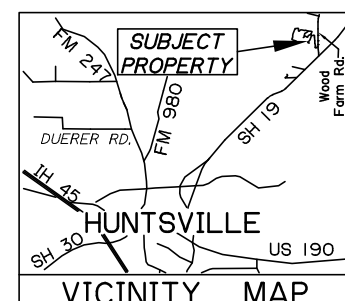
By _____
Deputy

PLAT OF SUBDIVISION OF
**HORSESHOE LAKE, SECTION ONE
FIFTEEN LOTS**

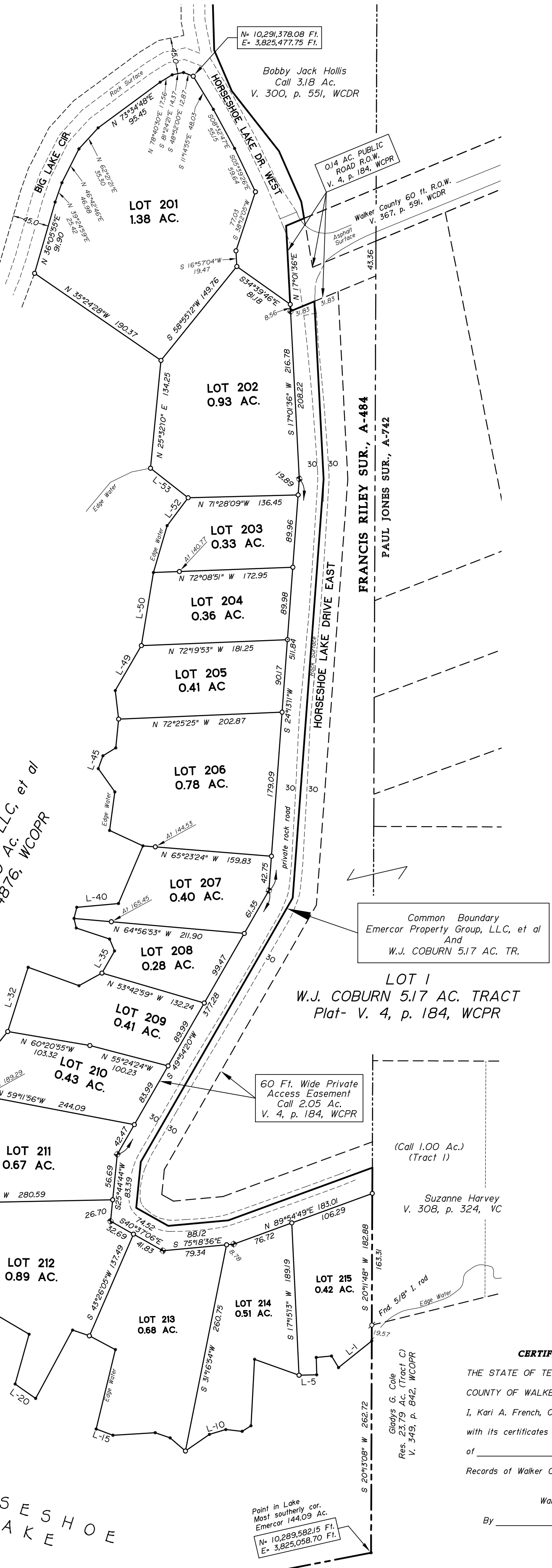
FRANCIS RILEY SURVEY, A-484
WALKER COUNTY, TEXAS
APRIL 2020



SCALE: 1" = 100 FEET
H.E. McADAMS & SON SURVEYING, INC.
Registered Professional Land Surveyors
P.O. Box 5047, Huntsville, Texas 77342
TBPELS Firm No. 10194425



LINE	BEARING	DISTANCE
L-1	S 71°15'40" W	52.90
L-2	N 11°00'26" W	16.80
L-3	N 75°22'16" W	19.06
L-4	S 18°17'16" W	21.56
L-5	N 71°25'23" W	21.90
L-6	N 50°16'19" W	58.61
L-7	S 23°06'00" W	82.54
L-8	S 77°31'30" W	12.95
L-9	N 63°31'51" W	20.36
L-10	N 86°32'06" W	21.21
L-11	S 75°18'55" W	36.18
L-12	S 29°24'02" W	25.00
L-13	N 50°52'45" W	19.65
L-14	N 73°28'45" W	52.45
L-15	N 49°34'31" W	22.19
L-16	N 33°37'33" E	101.32
L-17	N 42°12'11" W	36.50
L-18	N 50°58'01" W	22.08
L-19	S 48°20'54" W	96.31
L-20	N 34°56'25" W	31.08
L-21	N 35°40'39" E	64.13
L-22	N 39°30'22" W	122.08
L-23	N 27°19'14" W	88.02
L-24	N 09°52'00" E	40.02
L-25	N 47°24'38" E	119.98
L-26	N 63°40'16" E	57.22
L-27	N 35°13'19" E	19.25
L-28	N 42°24'57" W	55.90
L-29	N 32°43'45" E	23.64
L-30	N 80°26'07" E	47.57
L-31	N 59°02'50" E	48.88
L-32	N 37°37'09" E	83.60
L-33	S 50°06'29" E	67.08
L-34	N 81°07'54" E	32.43
L-35	N 49°40'06" E	31.62
L-36	N 02°27'07" W	15.95
L-37	N 51°38'42" W	43.61
L-38	N 07°08'14" E	12.17
L-39	N 33°46'47" E	14.20
L-40	N 75°10'12" E	51.90
L-41	N 43°02'18" E	77.73
L-42	N 45°19'35" E	45.64
L-43	N 27°51'06" E	48.28
L-44	N 15°29'44" E	35.41
L-45	N 39°54'46" E	18.94
L-46	N 78°19'32" E	18.71
L-47	N 25°40'34" E	35.90
L-48	N 13°18'43" E	35.62
L-49	N 50°08'20" E	64.47
L-50	N 29°19'56" E	91.85
L-51	N 36°17'32" E	60.51
L-52	N 56°58'39" E	43.33
L-53	N 31°50'53" W	59.50



- LEGEND**
- Set 5/8" iron rod with 1-3/4" diameter yellow plastic cap stamped "H.E. McAdams RPLS 2005".
 - ✱ Found 3/8" Bridge Spike with aluminum disc stamped "J.S. Moorer RPLS 1572".
 - ⊙ Found 5/8" iron rod.
 - Point for corner.