

DETERMINATION OF BASE FLOOD ELEVATION FORM

Copy all pages of this Determination and all attachments for (1) community official, (2) building owner.

SECTION A – PROPERTY INFORMATION				FOR COUNTY USE ONLY	
A1. Building/Site Owner's Name Ellis Management Group LLC & Emercor Property Group LLC				Permit Number:	
A2. Building/Site Street Address Southwest side of Horseshoe Lake Dr. West (See Attachment)				Date of Submittal:	
City Huntsville		State Texas		ZIP Code 77320	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Proposed Lot 505, Section 3 (See Attachment)					
A4. Latitude/Longitude: Lat. <u>30°48'24.52"N</u> Long. <u>95°28'14.56"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Walker County Unincorporated 481042			B2. County Name Walker		B3. State Texas
B4. Map/Panel Number 48471C0275	B5. Suffix D	B6. FIRM Index Date 16Aug11	B7. FIRM Panel Effective/ Revised Date 16Aug11		B8. Flood Zone(s) A
B9. Indicate elevation datum used for on FIRM Panel in Item B7: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
SECTION C – SOURCE OF BASE FLOOD ELEVATION DATA					
C1. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in item E3. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> LOMA, LOMR, Federal, State, or Local Determination (Attach Copy) <input type="checkbox"/> Other (Complete Section D)					
SECTION D – METHOD OF DETERMINATION FOR APPROXIMATE ZONE A					
<p><i>The below methods of determination are those listed and described in detail in publication FEMA 265/July 1995 "Managing Floodplain Development in Approximate Zone A Areas" and any determinations submitted shall utilize a method consistent with the publication, acceptable to FEMA, and considered appropriate by the certifying engineer or surveyor (see section F).</i></p>					
<p>D1) SIMPLIFIED METHODS</p> <p><input checked="" type="checkbox"/> Contour Interpolation Method</p> <p><input type="checkbox"/> Data Extrapolation Method</p> <p>D2) DETAILED METHODS (Please select one item from each category)</p> <p>a) <u>Topography</u>:</p> <p><input type="checkbox"/> Existing Topographic Maps</p> <p><input type="checkbox"/> Field Survey</p> <p>b) <u>Hydrology</u>:</p> <p><input type="checkbox"/> Discharge Drainage Area Relationships</p> <p><input type="checkbox"/> Regression Equations</p> <p><input type="checkbox"/> TR-55</p> <p><input type="checkbox"/> Rational Formula</p> <p><input type="checkbox"/> Other Hydrograph Methods: _____</p> <p>c) <u>Hydraulics</u>:</p> <p><input type="checkbox"/> Normal Depth</p> <p><input type="checkbox"/> Critical Depth</p> <p><input type="checkbox"/> Step-Backwater Analysis</p> <p><input type="checkbox"/> Hydraulic Structures</p>					

SECTION E – BASE FLOOD ELEVATION (BFE) DETERMINATION

(BFE shall be determined to within one tenth of a foot)

E1. Indicate elevation datum used for the Base Flood Elevation shown in section E3:

NGVD 1929 NAVD 1988 Other/Source: _____

E2. What is the site/location to which the determined Base Flood Elevation can be applied:

- a) The entire lot/tract described in section A3
- b) A specific building site on, or portion of, the lot/tract described in Section A3


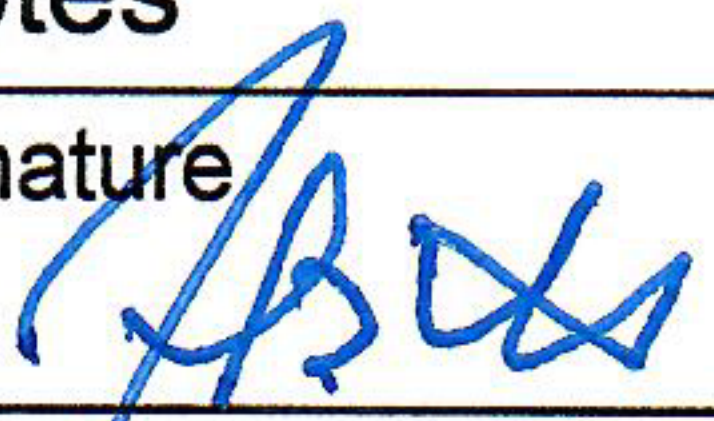
If E2(b) is selected a detailed scaled map/survey must be attached indicating the area of the lot subject to the BFE determined.

E3. The Base Flood Elevation for the site described in section E2, determined utilizing FEMA approved methods is:

225.0 ft

SECTION F – CERTIFICATION

This certification is to be signed and sealed by a registered engineer authorized by law to practice engineering in the State of Texas. If the source of the Base Flood Elevation in Section C is not "other", or is a finding under the "other" category supported by the "contour interpolation method" then a registered professional surveyor may sign and seal the certification instead of a registered engineer. I certify that the information on this form represents my best efforts to interpret the data available, and that the determinations herein were made in compliance with FEMA approved methodologies and standard engineering practices. I understand that any false statement may be punishable by fine or imprisonment.

Certifier's Name Frank G. Hill, P.E., CFM	License Number 70154		
Title Principal			
Company Name Gary Hill Engineering LLC			
Address 9238 Trailing Fern			
City Helotes	State Texas		ZIP Code 78023
Signature 	Date MAY 19 2021		Telephone 210-241-8060

Comments and Attachments (One copy of the current FIRM with the subject lot/tract overlaid, a copy of any engineering studies completed in support of this determination, and a copy of any detailed map required by section E2 shall be included and listed along with any other attachments). Please list all attachments along with the number of pages of that attachment.

Attachments

A2: Building/Site Street Address

Refer to plat enclosed for location of new lot. This lot will be receiving a new street address number and appraisal district number once recorded.

A3: Property Description

Same as A2, refer to enclosed proposed plat, page 3 for lot location (505).

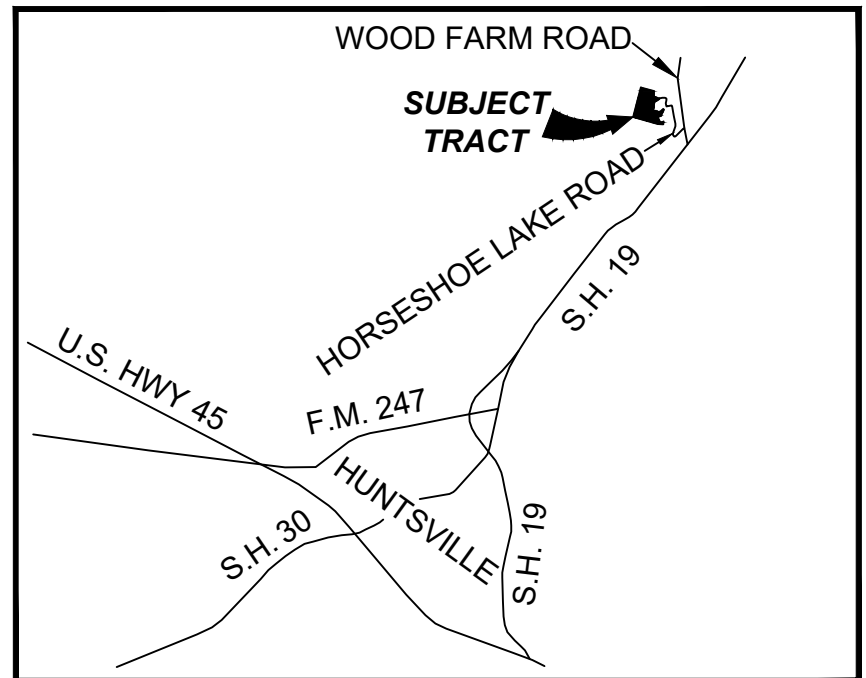
Table with 5 columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Rows C1 to C24.

THE STATE OF TEXAS

COUNTY OF WALKER

We, Emercor Property Group, LLC, Ellis Management Group, LLC, and Darlene Skaggs the undersigned owners of the the certain tract shown hereon and described in Doc. #54876, and Volume 424, Page 222, both of the Official Records of Walker County, Texas (respectively) do hereby subdivide said tract as shown hereon, and do hereby consent to all plat note requirements shown hereon, including any dedications, and do hereby state that the area subject to this plat is free of liens (aside from any lien holders signed below). This subdivision is to be known as Horseshoe Lake, Section 3, a private subdivision.

Signed Emercor Property Group, LLC James Webb
Signed Ellis Management Group, LLC Monte Robinson
Darlene Skaggs
Signed Owner



VICINITY MAP (NOT TO SCALE)

Table with 3 columns: LINE, BEARING, DISTANCE. Rows L1 to L100.

Table with 3 columns: LINE, BEARING, DISTANCE. Rows L101 to L199.

Table with 3 columns: LINE, BEARING, DISTANCE. Rows L200 to L293.

STATE OF TEXAS

COUNTY OF WALKER

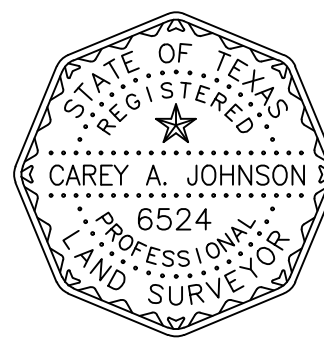
This instrument was acknowledged before me on the ___ day of ___, 2021, by James Webb, Monte Robinson and Darlene Skaggs.

Notary Public State of Texas

NOTES:

- 1) Coordinates, bearings, distances and areas surveyed hereon Grid NAVD 83 (1993), Texas Central Zone referenced to the Huntsville Mapping Control Network and are based on the Position of control point 6005 having published coordinates of N=10,284.018.15 feet, and E=3,823.440.76 feet and GPS observations. Distances herein may be converted to Geodetic Horizontal (surface) by dividing by a Combined Scale Factor of 0.999887.
2) This property is partially in Zone "A" areas determined to be within the 0.1% annual chance floodplain, according to the FEMA Community Panel No. 48471C0525D, with an effective date of 08/16/11.
3) Floodplain lines shown hereon was scaled from FEMA.
4) The private roads in Horseshoe Lake, Section 3 are "as is" and are privately maintained by Horseshoe Lake Property Owners Association.
5) The ponds, lakes, and dams are privately maintained by Horseshoe Lake Property Owners Association.
6) All lessees, owners, Property Ownes Association (Home Owners Association) and emergency responders must have permanent access to right-of-way on the private road throughout Horseshoe Lake Development.
7) No construction, without the written prior approval of Walker County, shall be allowed within a Floodplain, and then only after detailed engineering plans and studies show that no flooding and no obstruction to the natural flow of water will result. If construction is allowed, all finished floor elevations shall be a minimum of two (2) feet above the 100-year flood elevation. The existing creeks, lakes, reservoirs, or drainage channels, not within a public easement, traversing along or across portions of this subdivision, shall remain as an open channel always and shall be maintained by the individual owners of the lot of lots that are the individual owners of the lot or plots traversed by or next to the drainage courses along or across said lots. Walker County shall be responsible for the maintenance and operation of private drainageways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing or next to the property clean and free of debris, silt, or any substance that would result in unsanitary conditions. Walker County shall have the right of ingress and egress for inspection and supervision of maintenance work by the property owner and to alleviate any undesirable conditions that may occur. The natural drainage channels are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined, Walker County shall not be liable of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure within the natural drainage channels.
8) Dirt work on each lot/tract shall ensure that an individual drainage must drain to the lowest point of their respective property (either directly in front of their property or to a lake).
9) Homeowners and lessees are responsible for all local, state, and federal legal requirements for drainage in regard to their lots and or tracts. This includes all build costs, repairs, maintenance costs, and modification costs needed to ensure legal drainage.
10) Compliance with the Walker County Floodplain Management regulations is the responsibility of the Horseshoe Lake Property Owners Association, save the homeowners or lessees responsibilities described above.
11) All owners of lots and or tracts must open and maintain an account with the current provider of potable water (drinking water) with the current water utility.
12) All lots that back up to the lake have reference rods set.
13) This survey was completed without an Abstract of Title. There maybe easements and other matters not shown.

This is to certify that the undersigned, a registered professional land surveyor of the State of Texas, has platted the above subdivision from an actual survey on the ground; that this plat correctly represents the survey; and that all boundary corners, angle points and points of curvature or tangency are properly monumented.



- = SET 1/2" I.R. WITH CAP STAMPED "TPS 100834-00"
○ = CALCULATED CORNER / UNLESS OTHERWISE NOTED

BASE FLOOD ELEVATION CERTIFICATE BY ENGINEER

i Frank G. Hill, do hereby state that the Base Flood Elevation (BFE) for all Lots shown hereon of Horseshoe Lake, Section 3 is 249.5 Feet MSL (NAVD 1988) being determined based on interpretation of the current Panel A limits super-imposed on the current (2013) USGS map of the area, NAVD 1988. The undersigned is responsible only for the interpretation of this available data.

Signed Frank G. Hill, P.E., CFM Prof. Engineer No. 70154

LEGEND

COMMISSIONER'S COURT APPROVAL

This is to certify that the Commissioners Court of Walker County, Texas has on the ___ day of ___, 2021, approved this plat of Horseshoe Lake, Section 3, a Private Subdivision in Walker County, Texas.

Robert D. Pierce, II County Judge

Danny Kuykendall Commissioner Precinct 1

Ronnie White Commissioner Precinct 2

Bill Daugette Commissioner Precinct 3

Jimmy D. Henry Commissioner Precinct 4

PRELIMINARY ONLY NOT TO BE USED FOR RECORDING

Carey A. Johnson Texas Registration No. 6524

PRELIMINARY ONLY
NOT TO BE USED FOR RECORDING

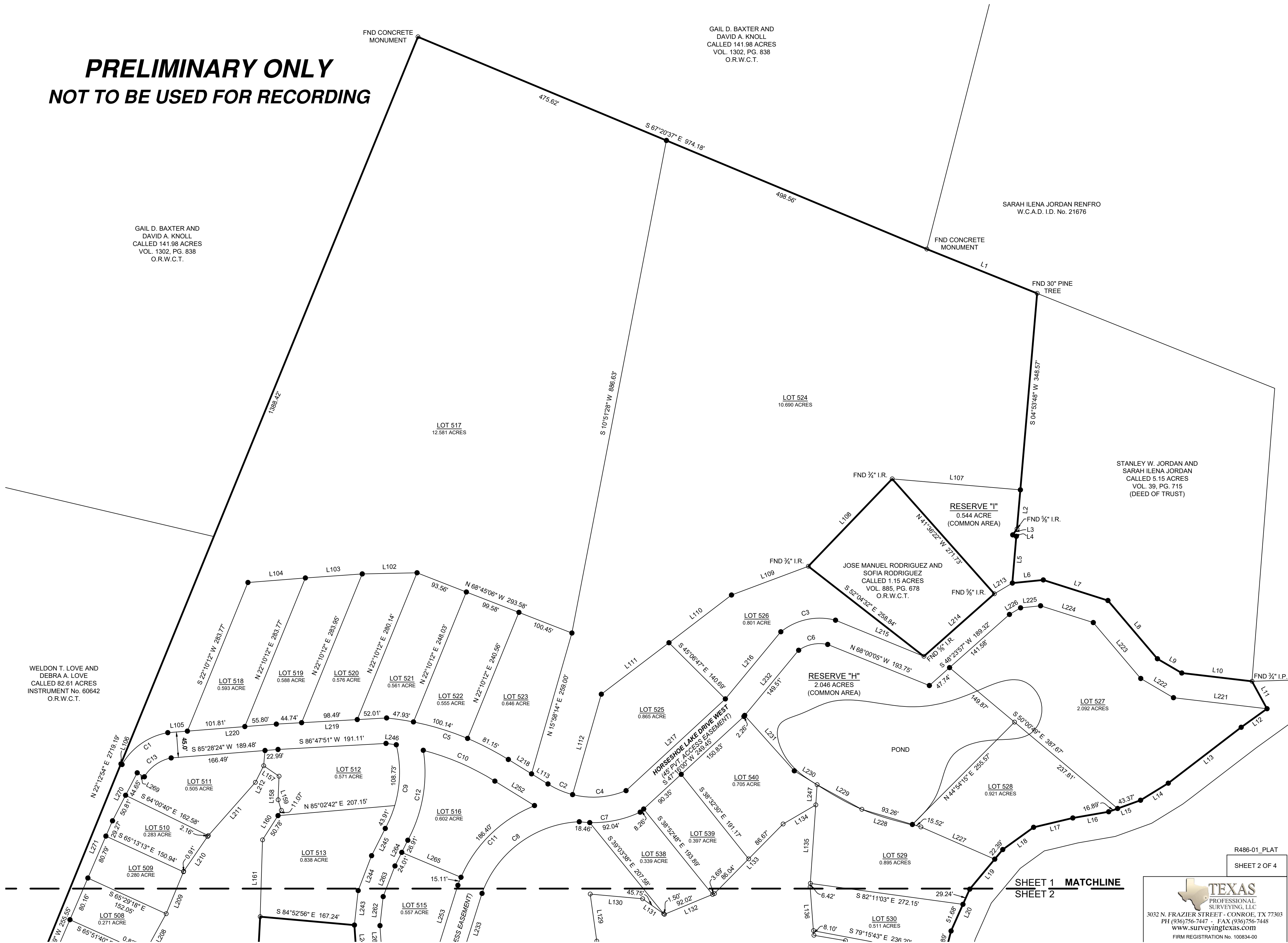
GAIL D. BAXTER AND
 DAVID A. KNOLL
 CALLED 141.98 ACRES
 VOL. 1302, PG. 838
 O.R.W.C.T.

GAIL D. BAXTER AND
 DAVID A. KNOLL
 CALLED 141.98 ACRES
 VOL. 1302, PG. 838
 O.R.W.C.T.

SARAH ILENA JORDAN RENFRO
 W.C.A.D. I.D. No. 21676

STANLEY W. JORDAN AND
 SARAH ILENA JORDAN
 CALLED 5.15 ACRES
 VOL. 39, PG. 715
 (DEED OF TRUST)

WELDON T. LOVE AND
 DEBRA A. LOVE
 CALLED 82.61 ACRES
 INSTRUMENT No. 60642
 O.R.W.C.T.



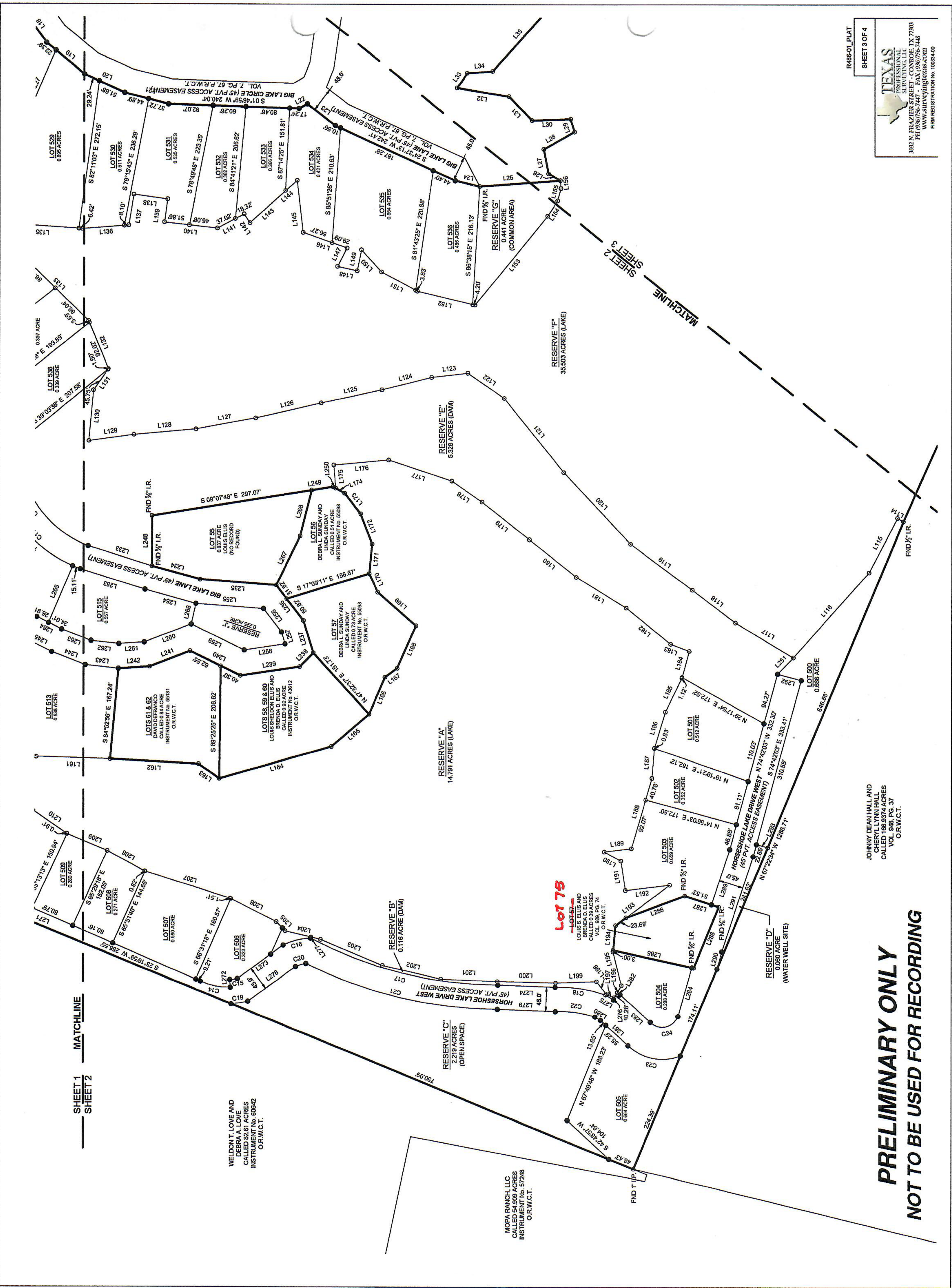
SHEET 1 MATCHLINE
 SHEET 2

R486-01_PLAT
 SHEET 2 OF 4

TEXAS
 PROFESSIONAL
 SURVEYING, LLC
 3032 N. FRAZIER STREET - CONROE, TX 77303
 PH (936)756-7447 - FAX (936)756-7448
 www.surveyingtexas.com
 FIRM REGISTRATION No. 100834-00

JOHNNY DEAN HALL AND
 CHERYL LYNN HALL
 CALLED 166.9374 ACRES
 VOL. 948, PG. 37
 O.R.W.C.T.

PRELIMINARY ONLY
NOT TO BE USED FOR RECORDING

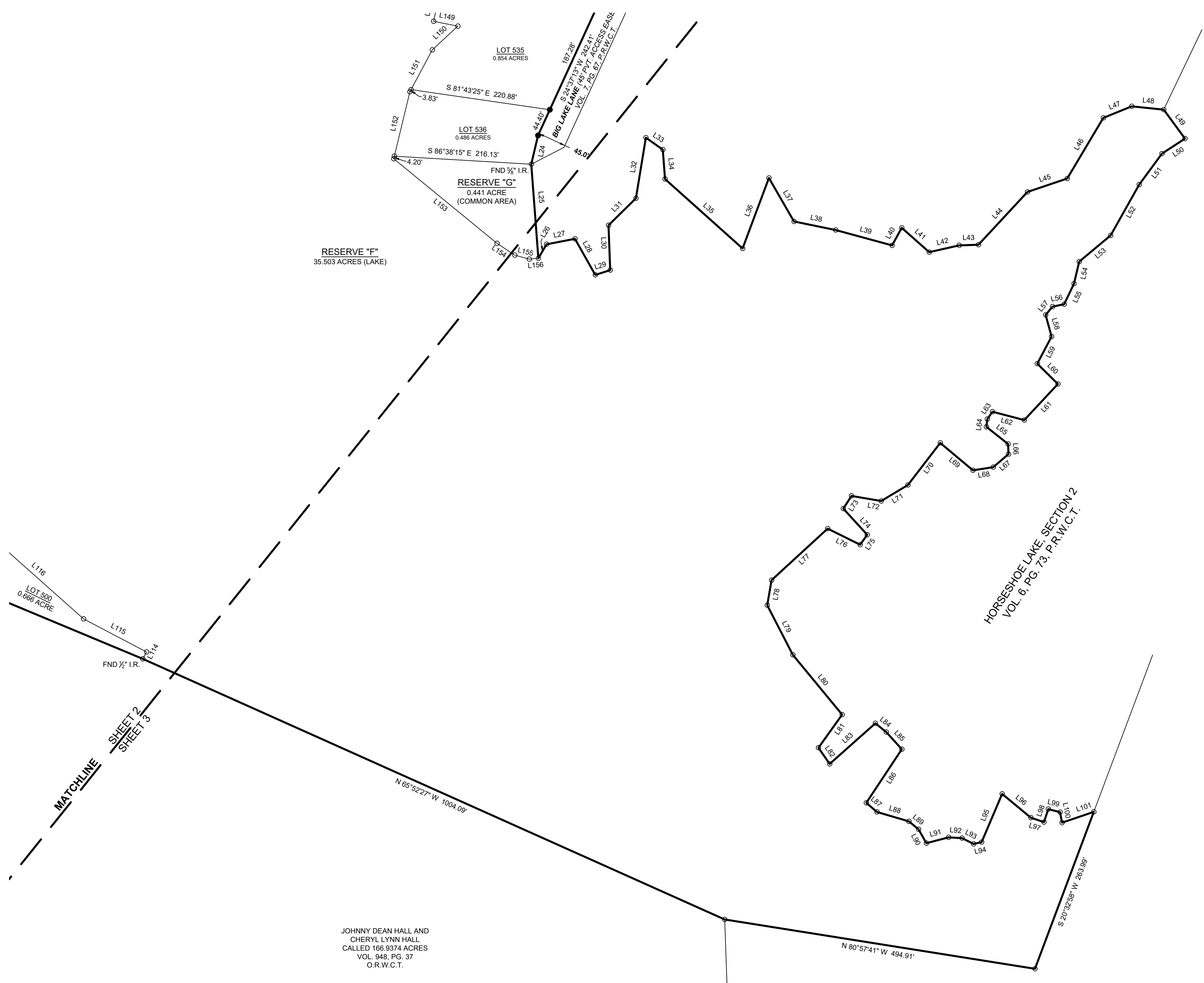


WELDON T. LOVE AND
 DERRA A. LOVE
 CALLED 82.81 ACRES
 INSTRUMENT NO. 80642
 O.R.W.C.T.

MOPA RANCH, LLC
 CALLED 54.909 ACRES
 INSTRUMENT NO. 57248
 O.R.W.C.T.

SHEET 1
 SHEET 2

SHEET 2
 SHEET 3



PRELIMINARY ONLY
NOT TO BE USED FOR RECORDING